

18SN0809 – Matoaca

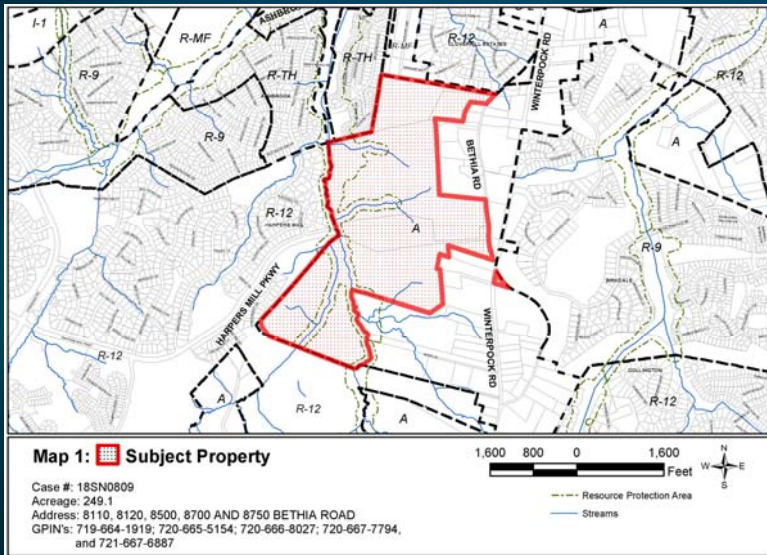


Schell Brothers Richmond LLC

Rezoning from Agricultural (A) District to Residential (R-12) District with conditional use planned development to permit exceptions to ordinance requirements and development standards relative to uses, lot sizes, lot coverage, setbacks and lot width and amendment of zoning district map.

Case 18SN0809 in the Matoaca Magisterial District is a request to rezone 249.1 acres from Agricultural (A) to Residential (R-12) with conditional use planned development (CUPD) to permit exceptions to ordinance requirements and development standards relative to uses, lot sizes, lot coverage, setbacks and lot width.

18SN0809 – Overview

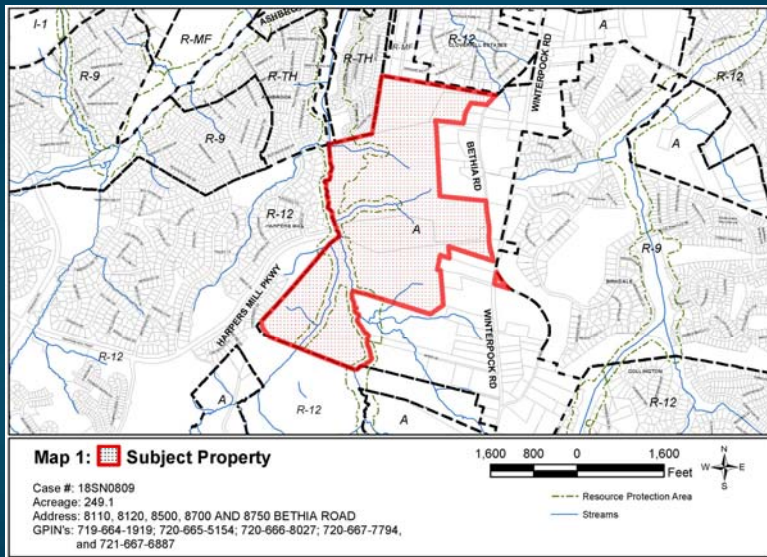


1. Rezone Agricultural (A) to Residential (R-12) with CUPD
2. Land uses consistent with the Comprehensive Plan; includes thoroughfare road extensions
3. Planning Commission and staff recommend approval

1. Rezone Agricultural (A) to Residential (R-12) with CUPD
 1. A multifamily, townhouse and single family development containing a maximum of 669 dwelling units is planned.
2. Land uses are consistent with the Comprehensive Plan; includes thoroughfare road extensions
3. Planning Commission and staff recommend approval
 1. The proposed master-planned development would extend and complete two (2) segments of roads on the Thoroughfare Plan, Ashlake Parkway and Harpers Mill Parkway, providing additional transportation options in the street network.
 2. The development plan would provide a mixture of housing types and products to increase housing choices.
 3. Proffered conditions provide for enhanced development standards and quality.
 4. Significant natural and historic features have been identified and will be protected.

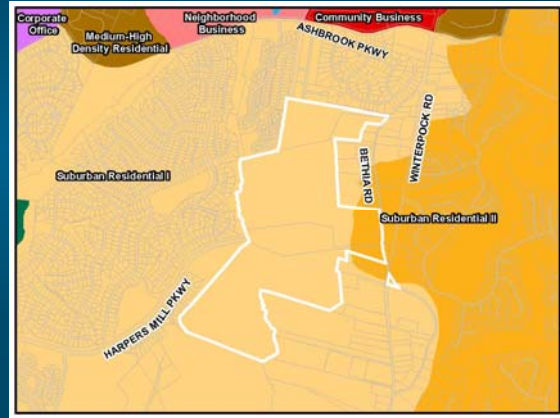
5. Erodible soils and steep slopes in the Upper Swift Creek watershed will be protected.
6. The existing Fuqua Farmhouse (circa 1785), associated outbuildings, and cemetery on the Property will be preserved.

18SN0809 – Zoning Map



The subject properties are located along Bethia Road west of Winterpock Road, and on the east and west side of Fuqua Branch. The Property is zoned Agricultural (A). Surrounding properties are zoned Agricultural (A), Residential (R-12 and R-9), Residential Townhouse (R-TH) and Residential Multifamily (R-MF).

18SN0809 – Aerial & Land Use Plan Map



Land uses in the area include residential developments, acreage lots and the Birkdale Golf Course.

The Comprehensive Plan's Land Use Plan designates the western 90+/- percent of the Property (approximately 224 acres) for Suburban Residential I, which suggests the Property is appropriate for residential development at a maximum density of 2.0 dwellings per acre. The Comprehensive Plan designates the eastern 10 +/- percent of the Property (approximately 25 acres) for Suburban Residential II, which suggests the Property is appropriate for residential development at a maximum density of 4.0 dwellings per acre.

18SN0809 – Proffered Conditions



Proffered conditions address the following items:

1. General
2. Multifamily Tract
3. Attached Cottages Tract
4. Single-Family Tracts
5. Transportation
6. Environmental
7. Utilities

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1. General
2. Multifamily Tract
3. Attached Cottages Tract
4. Single-Family Tracts
5. Transportation
6. Environmental
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18SN0809 – Ordinance Exceptions/Textual Statement



Textual Statement proposes the following ordinance exceptions:

1. Uses: multifamily, townhomes, single-family lots and model homes
2. Development Standards: buffers, setbacks, curb and gutter, widths of private streets and driveways, multifamily amenities, lot area and width, lot coverage

Textual Statement proposes the following ordinance exceptions:

1. Uses: multifamily, townhomes, single-family lots and model homes
2. Development Standards: buffers, setbacks, curb and gutter, widths of private streets and driveways, multifamily amenities, lot area and width, lot coverage

18SN0809 – Recommendation(s)



1. Planning Commission and staff recommend approval.

1. The proposed master-planned development would extend and complete two (2) segments of roads on the Thoroughfare Plan, Ashlake Parkway and Harpers Mill Parkway, providing additional transportation options in the street network.
2. The development plan would provide a mixture of housing types and products to increase housing choices.
3. Proffered conditions provide for enhanced development standards and quality.
4. Significant natural and historic features have been identified and will be protected.
5. Erodible soils and steep slopes in the Upper Swift Creek watershed will be protected.
6. The existing Fuqua Farmhouse (circa 1785), associated outbuildings, and cemetery on the Property will be preserved.

1. Planning Commission and staff recommend approval of the request.

1. The proposed master-planned development would extend and complete two (2) segments of roads on the Thoroughfare Plan, Ashlake Parkway and Harpers Mill Parkway, providing additional transportation options in the street network.
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18SN0809 – Conceptual Elevations | Multifamily



EXHIBIT B-1

Conceptual Elevation | Multiple-Family



*Rendering is an artist's conception and is for illustrative purposes only.

Conceptual Elevations of multi-family are shown.

Development of the Multifamily Tract shall be in general conformance with this architectural appearance (incorporating similar, but not necessarily identical design elements, style and materials) shown on the elevation and shall be generally consistent with or exceed the quality of architectural appearance in residential sections of nearby communities, including Harper's Mill and the Villas at Ashlake. Any substantial modifications shall be approved by the Planning Commission.

1. Materials

1. Roofs

1. Visible from ground level shall be architectural/dimensional asphalt composition shingle or better with a minimum 30-year warranty, pre-finished or real copper, or standing seam metal roof
2. Horizontal portions of roofs not visible from ground level may be Thermoplastic Polyolefin membrane or equivalent

2. Siding

1. Brick
2. Stone

3. Composition
 4. Hardiplank
 5. Vinyl (minimum of 0.44" nominal thickness)
 6. Engineered wood
 7. Horizontal lap siding (natural wood, cement fiber board or vinyl)
 8. Plywood and metal siding, Dutch lap siding and painted wood trim are prohibited
1. Building height: up to 4 stories or 60'
 2. Units: no units shall have greater than three (3) bedrooms
 3. Mechanical equipment: ground or roof mounted, to be screened from view by persons on any public streets

18SN0809 – Conceptual Elevations | Attached Cottages



Conceptual Elevations of single-family attached cottages (townhouses) are shown.

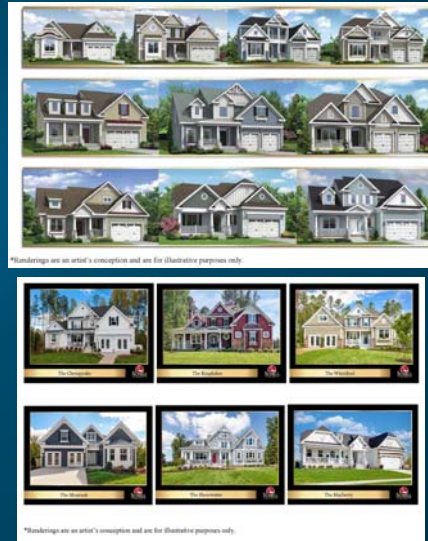
Development of the Attached Cottages shall be in general conformance with this architectural appearance (incorporating similar, but not necessarily identical design elements, style and materials) shown on the elevation and shall be generally consistent with or exceed the quality of architectural appearance in residential sections of nearby communities, including Harper's Mill and the Villas at Ashlake. Any substantial modifications shall be approved by the Planning Commission.

1. Materials

1. Roofs: shall be architectural/dimensional asphalt composition shingle or better with a minimum 30-year warranty, pre-finished or real copper, or standing seam metal roof
2. Siding
 1. Brick
 2. Stone
 3. Composition
 4. Hardiplank
 5. Vinyl (minimum of 0.44" nominal thickness)

6. Engineered wood
 7. Horizontal lap siding (natural wood, cement fiber board or vinyl)
 8. Plywood and metal siding, Dutch lap siding and painted wood trim are prohibited
1. No two buildings directly adjacent to each other side by side or directly across from each other shall have identical individual elevation and color sequence patterns across the fronts of the buildings. (P)
 2. Minimum Dwelling Size: minimum of 1,500 square feet of finished floor area

18SN0809 – Conceptual Elevations | Single Family



Conceptual Elevations of single-family detached houses are shown.

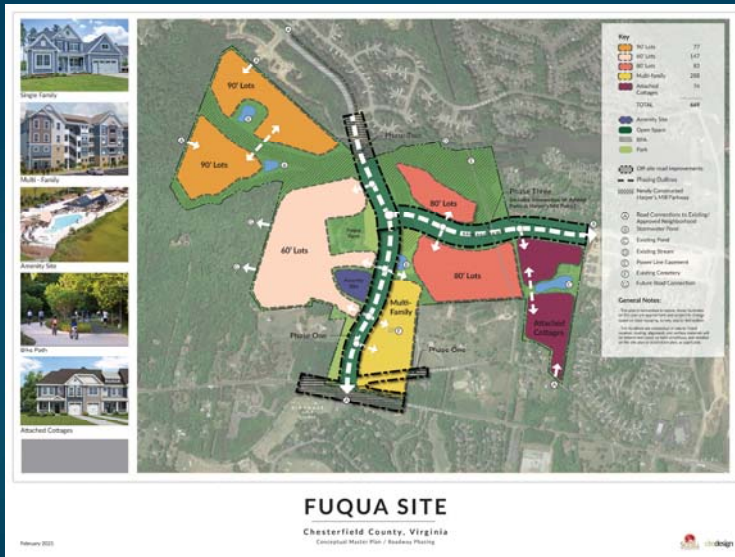
Homes constructed on lots within the 90' Lots Tract, the 80' Lots Tract and the 60' Lots Tract shall be in general conformance with the architectural appearance (incorporating similar, but not necessarily identical design elements, style and materials) of one of the housing product types shown on the elevations. (P)

1. Materials

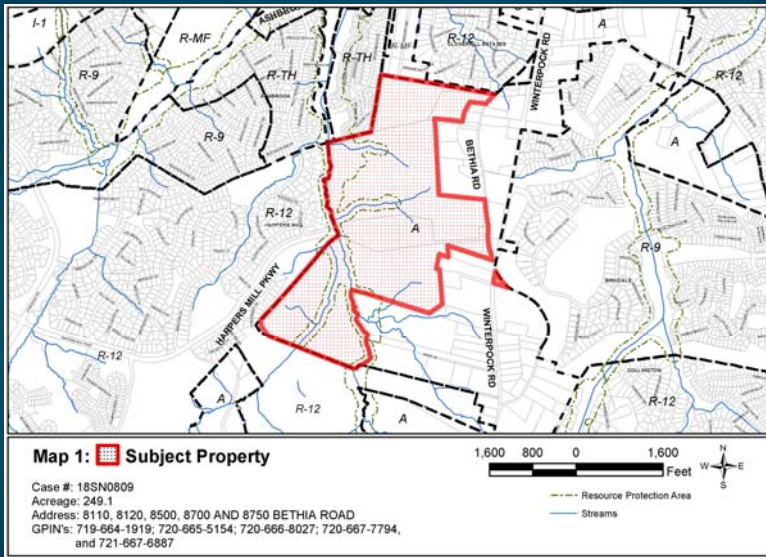
1. Roofs: shall be architectural/dimensional asphalt composition shingle or better with a minimum 30-year warranty, pre-finished or real copper, or standing seam metal roof
2. Siding
 1. Brick
 2. Stone
 3. Composition
 4. Hardiplank
 5. Vinyl (minimum of 0.44" nominal thickness)
 6. Engineered wood
 7. Horizontal lap siding (natural wood, cement fiber board or vinyl)

8. Plywood and metal siding, Dutch lap siding and painted wood trim are prohibited
9. Buildings with the same color palette, percentages of siding materials, and landscaping shall not be permitted side-by-side
1. Garages: minimum of 50% of the units shall have garages
2. Units: no units shall have greater than three (3) bedrooms
3. Mechanical equipment: ground or roof mounted, to be screened from view by persons on any public streets

18SN0809 – Conceptual Phasing Plan (Illustrative)



18SN0809 – Zoning Map



18SN0809 – Table of Ordinance Exceptions



Ordinance Requirements	Exception Request
<p>Uses</p> <ul style="list-style-type: none"> • Single-family lots • Model homes in structures intended to be permanent homes 	<p>Uses</p> <ul style="list-style-type: none"> • Multifamily (Multifamily Tract) • Townhouses (Attached Cottages Tract) • Single-family lots (60, 80' and 90' Lots Tracts) • Sales office for one year in modular office and following that in the clubhouse
<p>Multifamily Development Standards</p> <ul style="list-style-type: none"> • Standard setbacks for single-family development in underlying Residential (R-12) District • Driveways and parking for single-family development in underlying Residential (R-12) District • Development standards for private streets and driveways • Amenities 	<p>Multifamily Development Standards</p> <ul style="list-style-type: none"> • Structures set back 50' from interior driveways, 0' from parking spaces, 75' from Harpers Mill Parkway, and 35' from adjoining GPINs 7216669727 and 7216667847 • Driveways and parking set back 5' from rights-of-way • Driveways and parking serving a clubhouse shall not be required to have curb and gutter • The minimum pavement width for private streets and driveways shall be 24' • A minimum of one-half (0.5) acre of passive and active recreational area shall be provided for the dwelling units within the Multifamily Tract; additional recreational areas are provided in other tracts
<p>Townhouse Development Standards</p> <ul style="list-style-type: none"> • Standard setbacks for single-family development in underlying Residential (R-12) District • Driveways and parking for single-family development in underlying Residential (R-12) District • Development standards for private streets and driveways • Amenities 	<p>Townhouse Development Standards</p> <ul style="list-style-type: none"> • Structures set back 2' from interior driveways, 0' from parking spaces, 35' from GPINs 7216669727 and 7216667847, 30' from Ashlake Parkway right-of-way, and 45' from the boundary adjoining Cloverhill Estates subdivision • The minimum setback for parking and driveways from rights-of-way shall be five (5) feet. • The minimum pavement width for private streets and driveways shall be 16' and fire lanes shall be 20'

Table of Ordinance Exceptions (for reference)

This table is found in the staff report

18SN0809 – Table of Ordinance Exceptions



Existing Conditions	Applicant's Proposal
<u>80' Lots Tract</u> <ul style="list-style-type: none"> Minimum lot area 12,000 square feet Minimum lot width ninety (90) feet Maximum lot coverage thirty (30) percent Minimum front yard setbacks of twenty-five (25) feet on a permanent cul-de-sac and thirty-five (35) on other streets Minimum side yard setback of ten (10) feet Corner side yard setback of twenty (20) feet on through lot, lot backing another corner lot, open space or common area Minimum rear yard setback of thirty (30) feet on through lot and twenty-five (25) feet on other lots 	<u>80' Lots Tract</u> <ul style="list-style-type: none"> Minimum lot area 8,000 square feet Minimum lot width eighty (80) feet Maximum lot coverage fifty (50) percent Minimum front yard setback of twenty (20) feet Minimum side yard setback of five (5) feet Minimum corner side yard setback of fifteen (15) feet Minimum rear yard setback of twenty-five (25) feet
<u>60' Lots Tract</u> <ul style="list-style-type: none"> Minimum lot area 12,000 square feet Minimum lot width ninety (90) feet Maximum lot coverage thirty (30) percent Minimum front yard setbacks of twenty-five (25) feet on a permanent cul-de-sac and thirty-five (35) on other streets Minimum side yard setback of ten (10) feet Corner side yard setback of twenty (20) feet on through lot, lot backing another corner lot, open space or common area Minimum rear yard setback of thirty (30) feet on through lot and twenty-five (25) feet on other lots 	<u>60' Lots Tract</u> <ul style="list-style-type: none"> Minimum lot area 6,000 square feet Minimum lot width sixty (60) feet Maximum lot coverage fifty (50) percent Minimum front yard setback of twenty (20) feet Minimum side yard setback of five (5) feet Minimum corner side yard setback of fifteen (15) feet Minimum rear yard setback of twenty-five (25) feet
<u>Buffers: Screening</u> <ul style="list-style-type: none"> Buffers of 100' width are required along arterials in the Upper Swift Creek Special Buffer Area 	<u>Buffers: Screening</u> <ul style="list-style-type: none"> A fifty (50) foot buffer along Harpers Mill Parkway and total seventy-five (75) foot minimum setback for structures in the Multifamily Tract A twenty (20) foot buffer along Ashlake Parkway and total thirty (30) foot minimum setback for structures in the Attached Cottages Tract

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