

CASE NUMBER: 20SN0543

APPLICANT: Pavilion Development Company



**CHESTERFIELD COUNTY,
VIRGINIA
CLOVER HILL DISTRICT
STAFF'S ANALYSIS
AND
RECOMMENDATION**

Planning Commission (CPC) Hearing:

APRIL 21, 2020

CPC Time Remaining:

100 DAYS

Applicant's Contact:

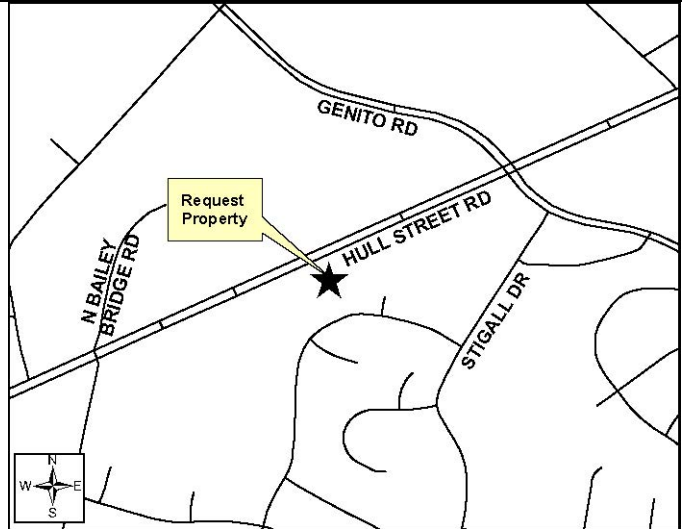
GEORGE SHIELD (704) 944-5964

Applicant's Agent:

ANDREW CONDLIN (804) 977-3373

Planning Department Case Manager:

JOSH GILLESPIE (804) 796-7122



1.4 Acres – 11321 & 11401 Hull Street Road

Firestone at
Genito Green Shopping Center

REQUEST

REQUEST I: Conditional Use to allow automobile repair within a shopping center and within 100' of Office zoning district

REQUEST II: Conditional Use Planned Development (CUPD) for exceptions to landscaping requirements of 19.1-342 (A) and (B)

Notes: A. Conditions may be imposed, or the property owners may proffer conditions.

B. Textual Statement and exhibits are located in Attachments 1-3.

SUMMARY

A conditional use is requested to allow automobile repair excluding body, major engine or transmission on the Property within a shopping center and within 100' of an adjacent Office zoned property and otherwise does not meet the restrictions as set forth in Section 19.1-53.

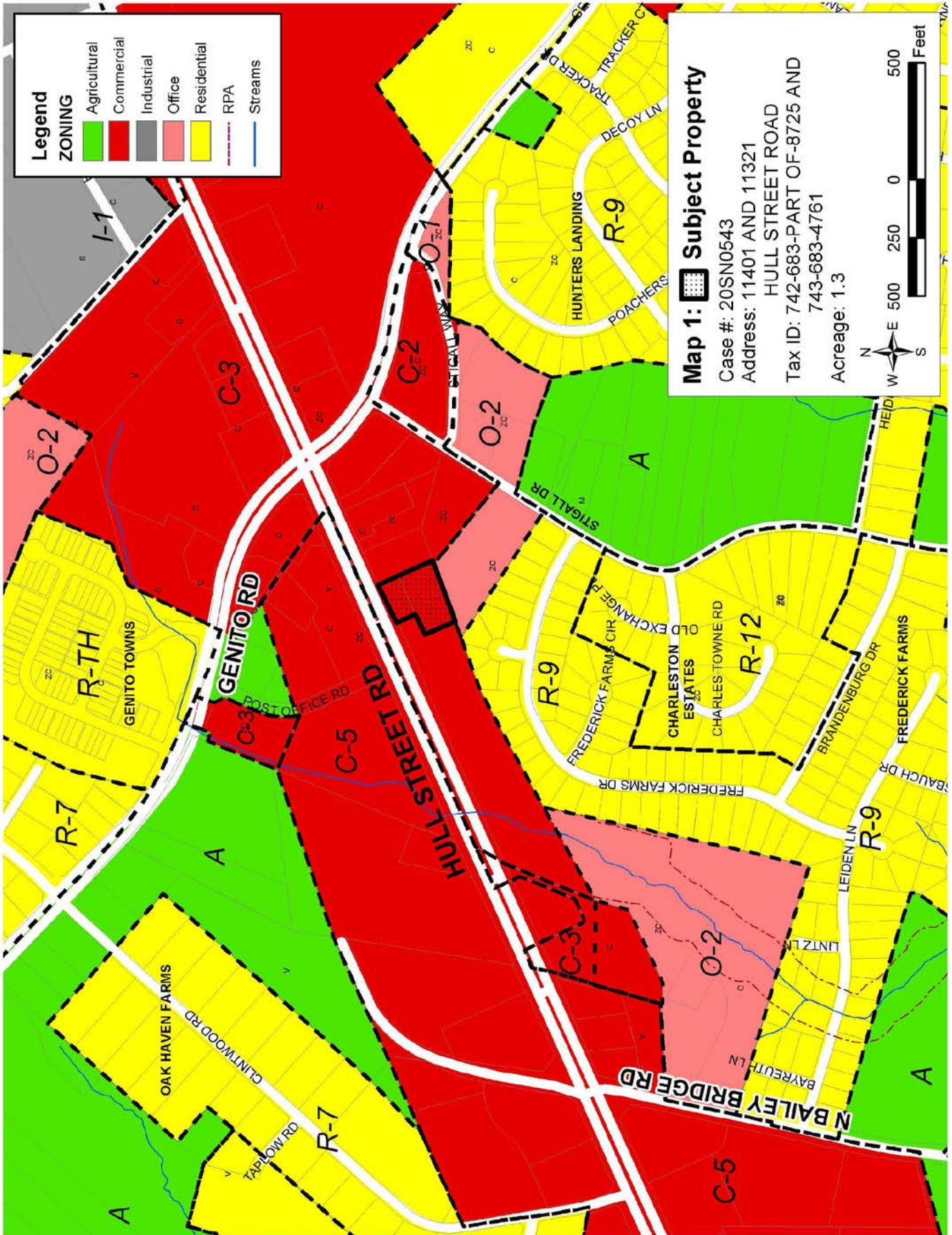
The building is narrow and deep to house the repair bays entered from the side of the building, an orientation consistent with the shopping center and Chesterfield County's development standards. The site dimensions do not accommodate the landscaping in addition to the deep building, parking, onsite circulation, a sanitary sewer easement along the rear of the property and rear setbacks for the building and parking. Further, the sanitary sewer main easement prevents plantings to meet the landscaping required by the Code. The CUPD plan provides a fence/wall in lieu of landscaping. The site layout, screening and appearance have been designed to be compatible with the shopping center and the surrounding office and residential properties.

RECOMMENDATION

STAFF

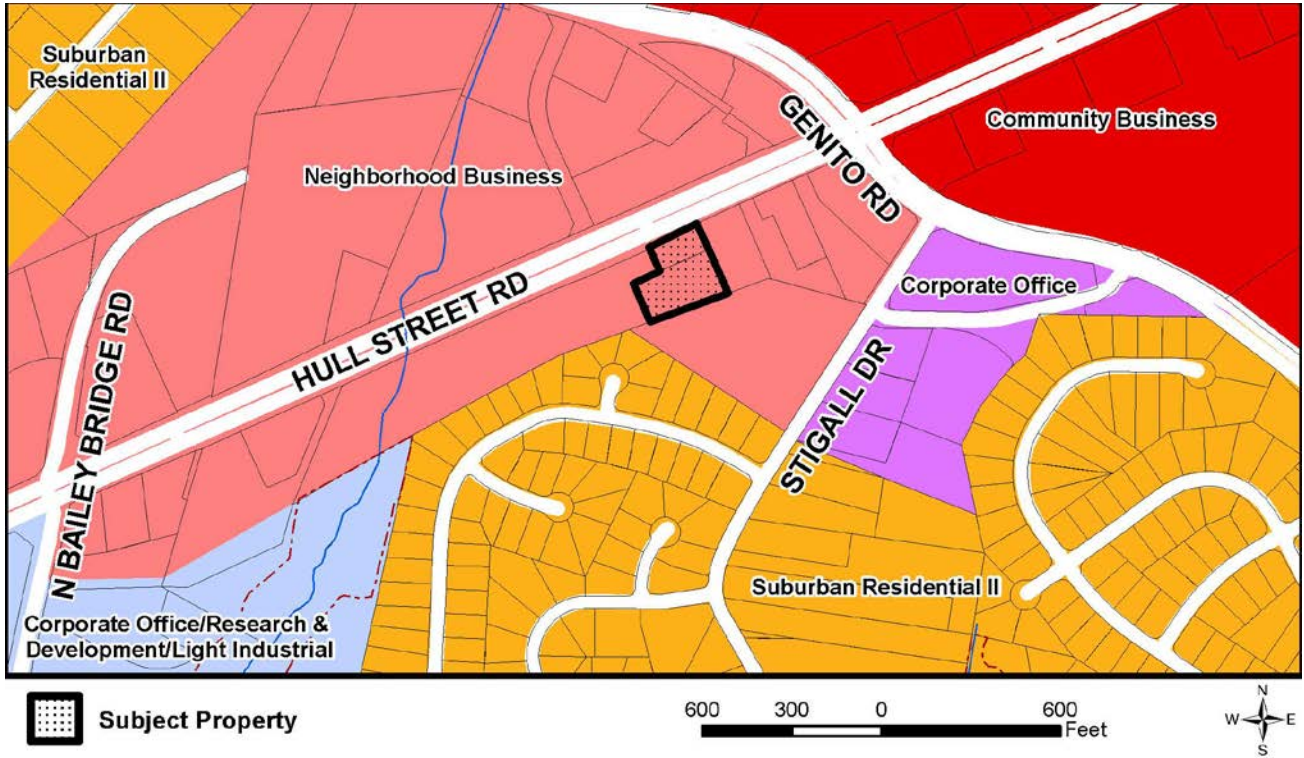
APPROVAL WITH THE PROFFERED CONDITIONS

- The use is appropriate oriented to a major thoroughfare and is consistent with the character of the Genito Green Shopping Center. Further, the surrounding Office zoning is used for a church, with a substantial screening performs the equivalent function to the 100' setback otherwise required.
- The CUPD provides opaque screening with a wall/fence and with retained and supplemented vegetation to meet the purpose of the landscaping that is otherwise required.

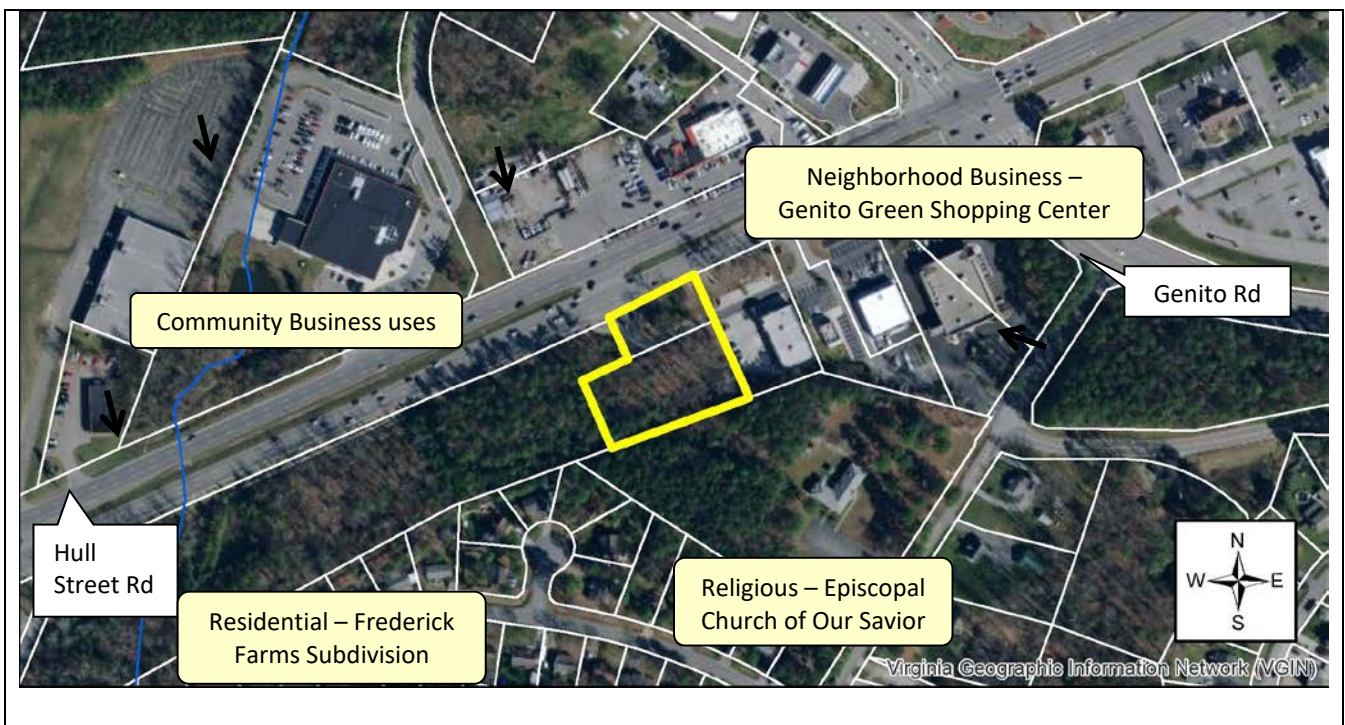


Comprehensive Plan
Classification: NEIGHBORHOOD BUSINESS

The designation suggests commercial uses that serve neighborhood-wide trade areas. Such uses generally attract customers residing in neighborhoods within a small geographical area.



Surrounding Land Uses and Development



PLANNING

Staff Contact: Josh Gillespie (804-796-7122) gillespiejo@chesterfield.gov

Zoning History

Case Number	Request
93SN0180 Approved (06/1993)	<ul style="list-style-type: none"> Rezoning from Agricultural (A) to Neighborhood Office (O-1), Neighborhood Business (C-2), and Community Business (C-3) plus a Conditional Use Planned Development to permit use and bulk (setback) exceptions.

Proposal

A conditional use is requested to allow automobile repair excluding body, major engine or transmission on the Property within a shopping center and within 100' of an adjacent Office zoned property and otherwise does not meet the restrictions as set forth in Section 19.1-53.

The building is narrow and deep with repair bays entered from the building side, an orientation consistent with the shopping center character and Chesterfield County’s development standards. The site dimensions and property setbacks combined with onsite vehicular circulation and a sanitary sewer main easement along the rear of the property constrain site development with the landscaping required by the Code. The opportunity exists for preservation of existing mature trees and creating a screen at the rear of the property with a solid wall or fence.

General Overview	
Requirements	Details
Uses	Automobile repair uses are allowed so long as certain development standards are met <i>Condition 1</i>
Site Development	The Property shall be developed as generally shown <i>Condition 1</i>
Architectural Standards	The building shall have an exterior elevation generally consistent with those certain elevations herein <i>Condition 1</i>
Operation	No vehicles waiting for repair shall be parked in the area shown on the Concept Plan as outlined in yellow <i>Condition 1</i>
Screening	An 8-foot opaque fence constructed of a hard surface material, such as block, pre-cast or other material approved at the time of plans review, shall be provided as shown <i>Condition 1</i>
Landscaping	No landscaping shall be required along the rear property line so long as an 8’ opaque fence shall be provided as shown on the Concept Plan, provided, however, landscaping shall be provided in the areas shown on the Concept Plan as “AREA OF SUPPLEMENTAL LANDSCAPING” as determined appropriate at the time of plans review to supplement existing vegetation and to add to any areas that are cleared. Any such supplemental planting shall be appropriate for the location and the existing sanitary sewer easement <i>Condition 2</i>

The Comprehensive Plan and Future Area Development

The designation suggests commercial uses that serve neighborhood-wide trade areas. Such uses generally attract customers residing in neighborhoods within a small geographical area.

The subject properties are located between Hull Street Road, a major thoroughfare for east-west traffic, and surrounding office and residential properties. Developments of sites of this nature must balance the transitions between differing types of land uses.

Site Development and Design

The development will be designed in general conformance with the Site Plan and Elevations (Exhibits A and B, Attachments 2 and 3). The two (2) subject parcels in this zoning case are served by a common access driveway for the Genito Green Shopping Center. The site has been designed to orient the entrance toward the shared drive and the garage bays on the building side that is least visible from rights-of-way.

Screening and Landscaping

The Site Plan and Elevations (Exhibits A and B, Attachments 2 and 3) provides an opaque wall or fence of masonry block or pre-cast material to screen the rear of the site from adjoining office and residential zoning districts. The wall or fence is provided in lieu of the landscaping otherwise required by the code, in addition to the preservation of existing mature vegetation and the addition of supplemental vegetation in specified areas around the parking area and dumpster enclosure.

Architectural Elevations

The Site Plan and Elevations (Exhibits A and B, Attachments 2 and 3) provide architectural elevations that are compatible with the existing buildings in the Genito Green Shopping Center. The building entrance is located on the north elevation facing Hull Street Road and is delineated by additional features including the wall covering of increased amount of masonry, canopies, and a finished roof cap at the corner over the entrance area. Development of the subject properties will continue this character through this part of the shopping center and maintain continuity for the future development of currently vacant commercial properties to the west.

ENVIRONMENTAL ENGINEERING

Staff Contact: Rebecca Rochet (804-748-1028) RochetR@chesterfield.gov

Geography

The subject properties generally drain from northeast to southwest to an unnamed tributary of Swift Creek. The tributary drains through the office/commercial park property located to the west of the subject properties, then through several existing subdivisions prior to discharging into Swift Creek. Both properties are located within the Lower Swift Creek Watershed.

Environmental Features

A Resource Protection Area (RPA) Designation must be submitted to and confirmed by the Department of Environmental Engineering – Water Quality Section prior to the submittal of any site plans. In addition, wetlands shall not be impacted without prior approval from the U.S. Army Corps of Engineers and/or the Virginia Department of Environmental Quality.

Drainage

The subject properties currently drain to an unnamed tributary which drains through the Frederick Farms subdivision, then through several other existing subdivisions prior to discharging into Swift Creek. Roadside ditches and existing culverts within the Frederick Farms subdivision are inadequate to accommodate a substantial increase in runoff generated by upstream development. Therefore, to the maximum extent practicable, drainage from the proposed development shall be collected and directed to the existing storm sewer system along Hull Street Road.

In addition, any increase in the 100-year discharge rate from the development of the subject properties may result in increased flooding within the existing neighborhoods. As a result, the maximum post-development discharge rate for the 100-year storm shall be based on the maximum capacity of the existing facilities downstream, and shall not increase the recorded 100-year backwater and/or floodplain. On-site detention of the post-development discharge rate for the 100-year storm to below the pre-development discharge rate may be provided to satisfy this requirement. The applicant has offered Proffered Condition 4 to address this impact.

Stormwater Management

The development of the subject property will be subject to the Part IIB technical criteria of the Virginia Stormwater Management Program Regulations for water quality and water quantity.

UTILITIES

Staff Contact: Randy Phelps (796-7126) phelpsc@chesterfield.gov

Existing Water and Wastewater Systems

Utility Type	Currently Serviced	Size of Closest Existing Lines	Connection Required by County Code
Water	No	8"	Yes
Wastewater	No	8"	Yes

Additional Utility Comments:

The subject property is located within the mandatory water and wastewater connection areas for new non-residential structures. An 8" public water is located on 11301 Hull Street Road, immediately east of the subject property. An 8" public wastewater line is located along the rear property line. The applicant has proffered to connect to the public water and wastewater systems.

In conjunction with the site plan approval process, extension of a public water line across the subject property is anticipated to serve the undeveloped portion of the property towards the west.

The Utilities Department supports this case.

FIRE SERVICE

Staff Contact: Anthony Batten (804-717-6167) BattenA@chesterfield.gov

When the property is developed, the number of hydrants, quantity of water needed for fire protection, and access requirements will be evaluated during the plans review process.

Nearby Fire and Emergency Medical Service (EMS) Facilities

Fire Station	The Manchester Volunteer Rescue Squad Fire Station, Company Number 24
EMS Facility	The Manchester Volunteer Rescue Squad

COUNTY DEPARTMENT OF TRANSPORTATION

Staff Contact: Steve Adams (804) 748-1037 adamsSt@chesterfield.gov

SCHOOLS

Staff Contact: Atonja Allen (804-318-8740) atonja_allen@ccpsnet.net

PARKS AND RECREATION

Staff Contact: Janit Llewellyn (804-751-4482) llewellynja@chesterfield.gov

LIBRARIES

Staff Contact: Jennifer Stevens (804-751-4998) stevensj@chesterfield.gov

VIRGINIA DEPARTMENT OF TRANSPORTATION

Staff Contact: Willie Gordon (804) 674-2907 willie.gordon@vdot.virginia.gov

HEALTH

Staff Contact: Richard Michniak (804-748-1695) richard.michniak@vdh.virginia.gov

This request will not impact these facilities.

CASE HISTORY

Applicant Submittals	
10/10/19	Application submitted
12/12/19, 3/9 & 4/9/20	Application amended
10/10 & 12/12/19, 1/7, 2/3, 3/9, 3/11, 4/6, 4/9 & 4/10/20	Proffered Conditions, Textual Statement and exhibits submitted

TEXTUAL STATEMENT

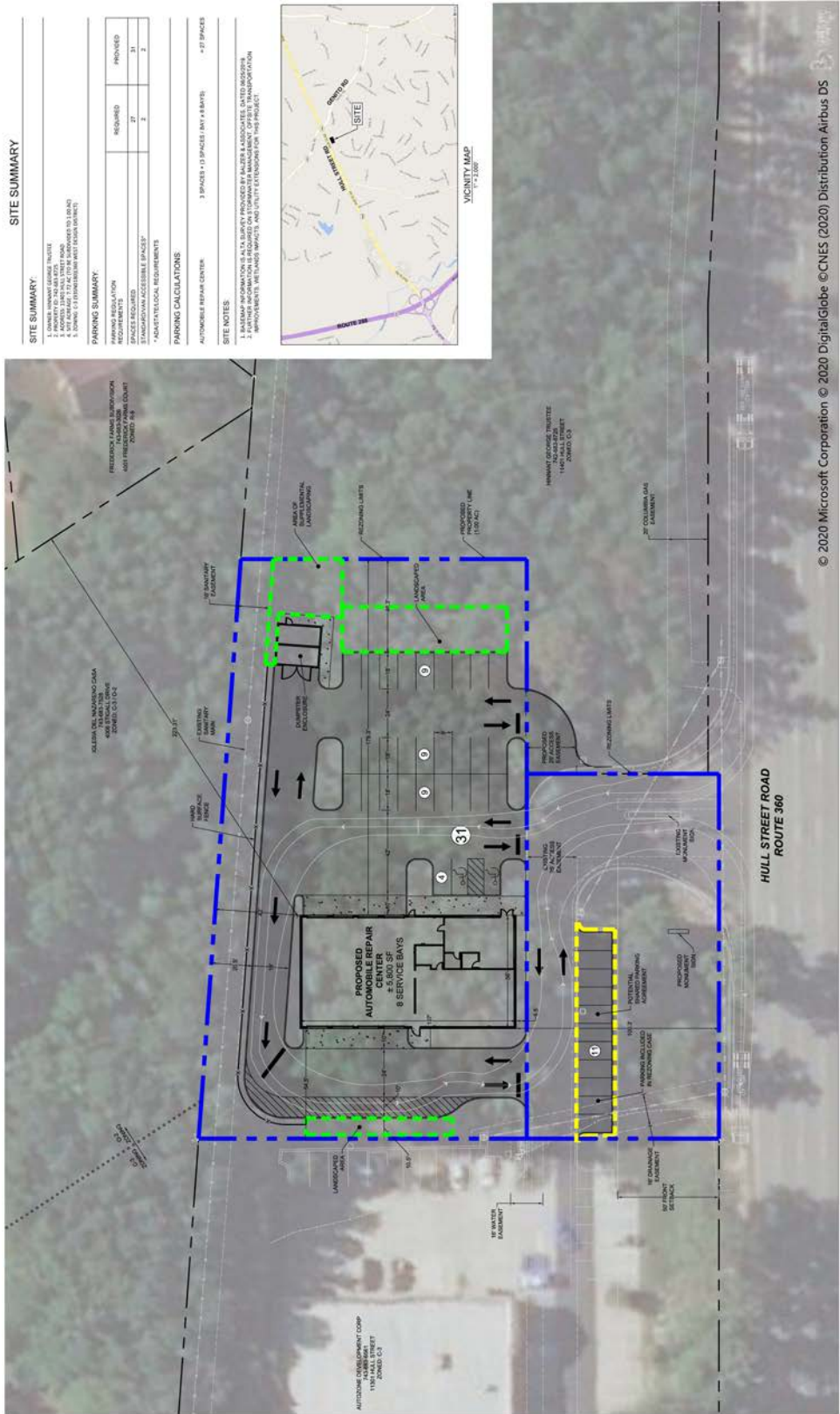
Last Revised April 10, 2020

Development of the Property shall comply with the Zoning Ordinance requirements except as outlined herein:

- 1. Automobile Repair Use and Operation.** Automobile Repair shall be permitted so long as the following standards are met:
 - a. The Property shall be developed as generally shown on that certain conceptual plan entitled "SP004 – FIRESTONE – 11401 HULL STREET, CONCEPTUAL SITE LAYOUT PLAN – April 10, 2020" and prepared by Timmons Group (the "Concept Plan").
 - b. The building shall have an exterior elevation generally consistent with those certain elevations entitled "EXTERIOR ELEVATIONS & DETAILS", dated April 9, 2020, and prepared by SGA Design Group P.C. (the "Elevations").
 - c. An 8 foot opaque fence shall be provided along the rear property line as shown on the Concept Plan. Such fence shall be constructed of a hard surface material, such as block, pre-cast or other material approved at the time of plans review.
 - d. No vehicles waiting for repair shall be parked in the area shown on the Concept Plan as outlined in yellow.
(P)
- 2. Landscaping.** No landscaping shall be required along the rear property line so long as an 8' opaque fence shall be provided as shown on the Concept Plan, provided, however, landscaping shall be provided in the areas shown on the Concept Plan as "AREA OF SUPPLEMENTAL LANDSCAPING" as determined appropriate at the time of plans review to supplement existing vegetation and to add to any areas that are cleared. Any such supplemental planting shall be appropriate for the location and the existing sanitary sewer easement. (P)

EXHIBIT A – SITE PLANS AND ELEVATIONS

Last Revised April 10, 2020



SP005 - FIRESTONE - 11401 HULL STREET
 CONCEPTUAL SITE LAYOUT PLAN - April 10, 2020

TIMMONS GROUP

THESE DRAWINGS PREPARED BY THE
 1000 BROADWAY, SUITE 2000, NEW YORK, NY 10018
 TEL: 212-260-1000 FAX: 212-260-1001 WWW.TIMMONSGROUP.COM

EXHIBIT B – ELEVATIONS

Last Revised April 9, 2020

April 9, 2020

1 WEST ELEVATION
SCALE: 1/8"=1'-0"

2 EAST ELEVATION
SCALE: 1/8"=1'-0"

3 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

4 NORTH ELEVATION
SCALE: 1/8"=1'-0"

20 SIGNAGE DETAIL
SCALE: 1/8"=1'-0"

5 MATERIAL NOTES

1. FINISHES SHOWN ON THIS DRAWING ARE TO BE USED UNLESS OTHERWISE NOTED.
2. FINISHES TO BE USED ON ALL EXTERIOR SURFACES UNLESS OTHERWISE NOTED.
3. FINISHES TO BE USED ON ALL INTERIOR SURFACES UNLESS OTHERWISE NOTED.
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6 MATERIAL SAMPLES

1. BRICK (AS SHOWN)

2. LIGHT TAN SOLID COLOR

3. RED SOLID COLOR

4. DARK TAN SOLID COLOR

5. LIGHT TAN SOLID COLOR

6. LIGHT TAN SOLID COLOR

7 PROJECT INFORMATION

PROJECT: FIRESTONE COMPLETE AUTO CARE

OWNER: SBA DESIGN GROUP, P.C.

ARCHITECT: SBA DESIGN GROUP, P.C.

DATE: APRIL 9, 2020

8 PROJECT CONTACTS

PROJECT CONTACTS: SBA DESIGN GROUP, P.C. (919) 387-8600

ARCHITECT CONTACT: ANNA EASTRIDGE (919) 387-8600

DESIGN MGR: RICHARD YOKLER (919) 327-4972

CONST MGR: LISA KYVICO (919) 327-5259

MGR CONST SUPPORT: CHRIS INQUIRY (919) 327-9269

ATTORNEY: NICK MANN (919) 327-6374

9 PROJECT APPROVAL

ZONE APPROVAL: (BY DATE)

VP: _____

CONT: _____

RM: _____

CML: _____

BUILDING ID: 130030

SITE ID: 248

10 PROJECT ADDRESS

HULL STREET RD.
MIDDLEBURY, VA

11 PROJECT SIGNAGE

SBA Design Group, P.C.
10700 Old Dominion Blvd, Suite 300
Falls Church, VA 22041
Tel: (919) 387-8600
www.sbadesigngroup.com

12 PROJECT SIGNAGE

Firestone COMPLETE AUTO CARE

20 SIGNAGE DETAIL SCALE: 1/8"=1'-0"

13 PROJECT SIGNAGE

Firestone COMPLETE AUTO CARE

20 SIGNAGE DETAIL SCALE: 1/8"=1'-0"

14 PROJECT SIGNAGE

Firestone COMPLETE AUTO CARE

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Firestone COMPLETE AUTO CARE

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Firestone COMPLETE AUTO CARE

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Firestone COMPLETE AUTO CARE

20 SIGNAGE DETAIL SCALE: 1/8"=1'-0"

18 PROJECT SIGNAGE

Firestone COMPLETE AUTO CARE

20 SIGNAGE DETAIL SCALE: 1/8"=1'-0"

19 PROJECT SIGNAGE

Firestone COMPLETE AUTO CARE

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20 PROJECT SIGNAGE

Firestone COMPLETE AUTO CARE

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